

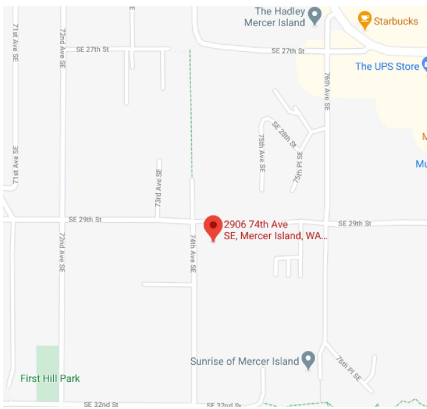
BASIC SITE PLAN SCALE: 1" = 10'-0"

Address of Property: 2906 74TH AVE SE Mercer Island 98040
 Owner: Premium Homes of Mercer Island
 Legal Description: MC GILVRAS ISLAND ADD POR WLY OF LN RNG FRM PT 150 FT E OF SW COR TO PT ON N LN 90 FT E OF NW COR Plat Block: 10 Plat Lot: 1
 Parcel Number: 5 3 1 5 1 0 - 0 8 3 6
 Zoning: R-9.6

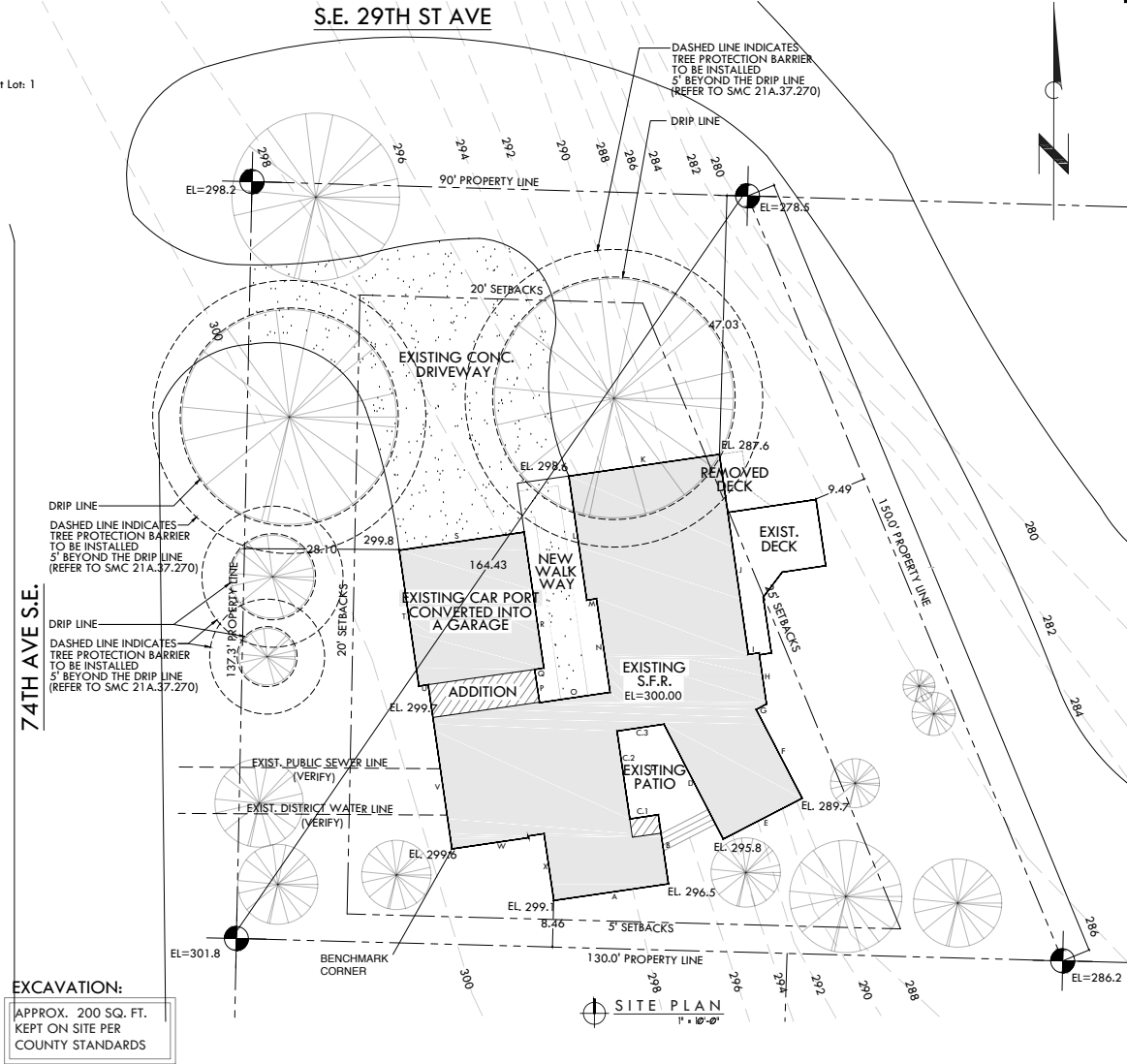
LOT COVERAGE CALCULATIONS	
ALL AREA UNDER A ROOF OVERHANG INCLUSIVE OF THE EXISTING HOUSE, NEW GARAGE, AND NEW ADDITION (IN SQ. FT.) as measured on Sheet A-1.4:	3,771
AREA OF CONCRETE DRIVEWAY [EXISTING TO REMAIN]:	2,119
TOTAL LOT COVERAGE AREA:	5,890
TOTAL SITE AREA PER KC ASSESSOR (IN SQ. FT.):	16,560
% OF LOT COVERAGE = LOT COVERAGE AREA / SITE AREA:	36%
ALLOWABLE LOT COVERAGE PER SLOPE RULES:	40%
THEREFORE ADDITION IS COMPLIANT	

LOT SLOPE CALCULATIONS	
HIGHEST ELEVATION ON SITE (IN FEET):	301.8
LOWEST ELEVATION ON SITE (IN FEET):	278.5
DIFFERENCE IN ELEVATION ACROSS SITE (IN FEET):	23.3
DISTANCE BETWEEN HIGHEST & LOWEST POINTS (IN FEET):	164.4
SLOPE = DIFFERENCE / DISTANCE	14.2%
SLOPE ON SITE IS < 15%, THEREFORE 40% LOT COVERAGE IS ALLOWED	

HARDSCAPE CALCULATIONS	EXISTING	REMOVED	NEW [ADDED]	TOTAL
UNCOVERED DECKS	316	-52	0	264
UNCOVERED PATIOS	218	0	0	218
WALKWAY	203	-203	203	203
PATIO STAIRS	30	0	0	30
TOTAL HARDSCAPE AREA	767	-255	203	715
SITE AREA	16560		HARDSCAPE:	4%



VICINITY MAP



EXCAVATION:
 APPROX. 200 SQ. FT. KEPT ON SITE PER COUNTY STANDARDS

AVERAGE BUILDING ELEVATION (ABE) CALCULATIONS																											
WALL SEGMENT ID	A	B	C1	C2	C3	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W	X	TOTALS
WALL LENGTH IN FEET	21.0	12.7	5.3	16.1	8.6	23.4	16.2	18.2	2.1	9.4	2.0	36.7	27.6	22.8	1.8	17.2	12.9	6.1	1.7	24.9	22.9	24.9	1.8	30.1	17.3	12.2	395.8
MIDPOINT ELEVATION	298.2	295.5	298.0	299.0	299.5	299.0	291.5	287.9	287.9	287.7	287.8	287.5	291.2	297.0	297.1	299.5	298.7	298.0	298.3	298.0	298.3	299.4	299.7	299.7	299.5	299.0	7692.4
WEIGHTED SUM	6268.2	3752.9	1564.5	4816.9	2578.7	7002.6	4707.7	5234.0	601.7	2701.5	578.5	10548.4	8040.0	6762.7	534.8	5104.2	3875.5	1819.1	498.8	7426.2	6837.0	7461.0	524.5	9021.0	5181.4	3659.8	117101.4
REFER TO A-1.3 TO SEE DIMENSIONS OF WALL SEGMENTS																								(ABE) AVERAGE BUILDING ELEVATION [aka average height of grade at building perimeter]	295.8		

PS HOME DESIGNS

CUSTOM HOMES
 REMODELS
 ADDITIONS
 253-282-2277

PAVELTRAVEL@GMAIL.COM

SCALE:
 1" = 10'-0"

ENGINEERING:
 BLDG DEPT:
 MERCER ISLAND
 CHECKED BY:

PRINT DATE:
 4/22

REVISIONS

12/20	AS-BUILT	PV6
12/22	SITE PLAN	PV6
4/22	Corrections	PV6

BUILDER APPROVAL:
 _____ DATE _____
 OWNER APPROVAL:
 _____ DATE _____

PLAN NUMBER

PROJECT

PREMIUM HOMES OF MERCER ISLAND

2906 74TH AVE SE
 Mercer Island
 WASHINGTON

531510-0834

SHEET TITLE:
 SITE PLAN

SHEET NUMBER
 C-1.0



PS HOME
DESIGNS

CUSTOM HOMES
REMODELS
ADDITIONS
253-282-2277

PAVILTRAYBL@GMAIL.COM

SCALE

1/4" = 1'-0"

ENGINEERING

BLDG DEPT:

MERCER ISLAND

CHECKED BY:

PRINT DATE:

03/20

REVISIONS

03/20 PRELIMINARY PVG
4.11.22 Corrections JK

BUILDER APPROVAL:

DATE

DATE

OWNER APPROVAL:

DATE

DATE

PLAN NUMBER

PROJECT

PREMIUM HOMES
OF MERCER ISL
REMODEL

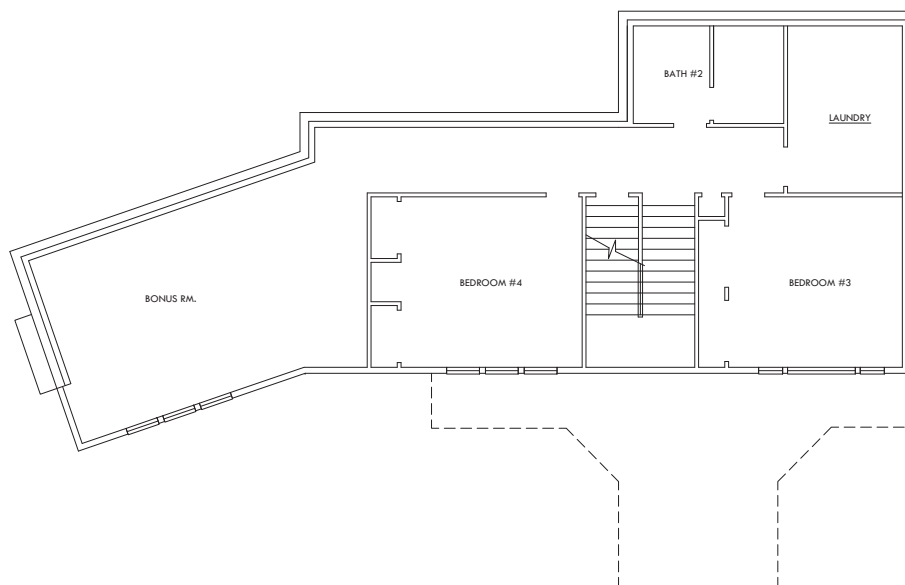
2906 74th Ave SE
Mercer Island
WASHINGTON
98040

231310-0834

SHEET TITLE

SHEET NUMBER

A-0.1



1 EXISTING BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

SCALE 1/4" = 1'-0"



PS HOME
DESIGNS

CUSTOM HOMES
REMODELS
ADDITIONS
253-282-2277

PAVILTRAYBL@GMAIL.COM

SCALE

1/4" = 1'-0"

ENGINEERING

BLDG DEPT:
MERCER ISLAND

CHECKED BY:

PRINT DATE:

REVISIONS

0330 PRELIMINARY PV8
4.11.22 Corrections JK

BUILDER APPROVAL

DATE

DATE

OWNER APPROVAL

DATE

DATE

PLAN NUMBER

PROJECT

PREMIUM HOMES
OF MERCER ISL
REMODEL

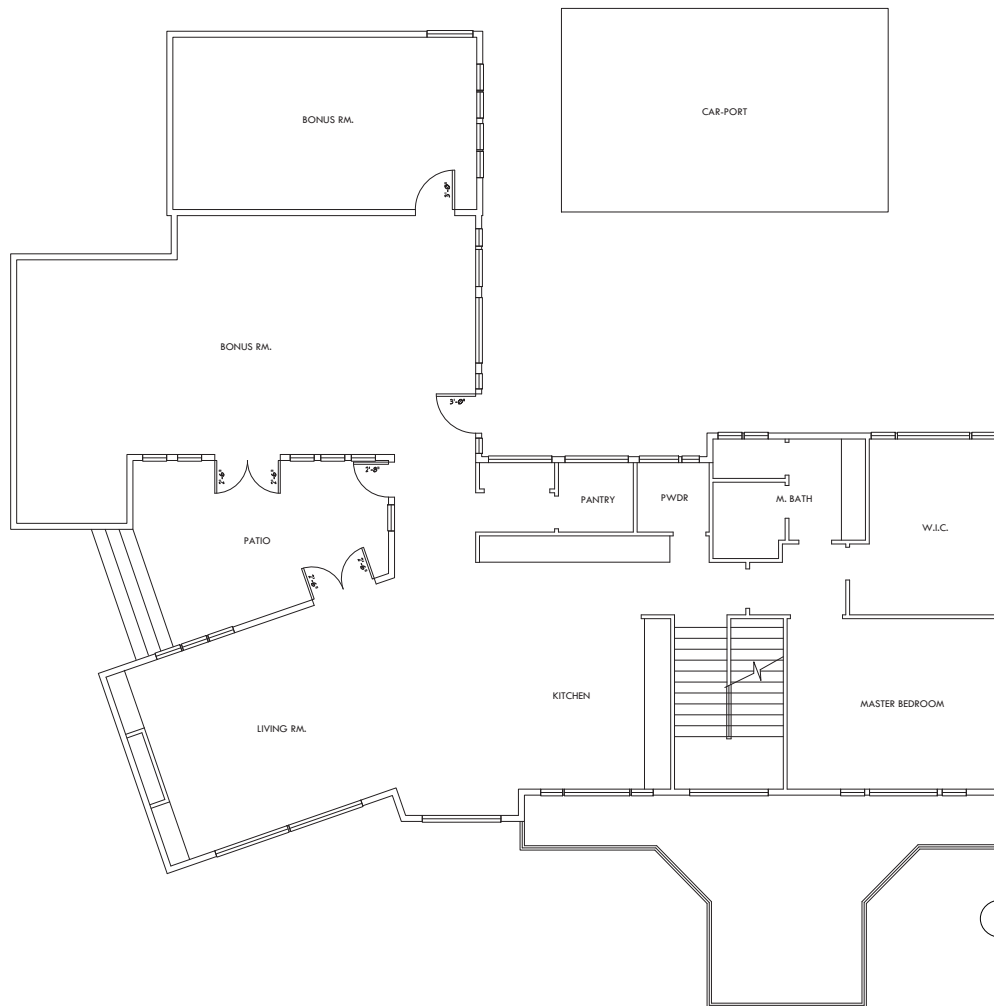
2906 74th Ave SE
Mercer Island
WASHINGTON
98040

231310-0834

SHEET TITLE

SHEET NUMBER

A-0.2



1 EXISTING BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

SCALE 1/4" = 1'-0"

INSULATION RAFFLE NOTE:

WHEN BATT VENTS ARE INSTALLED, BATTING OF THE VENT OPENING SHALL BE PROVIDED SO AS TO DEFLECT THE WINDING AIR ABOVE THE SURFACE OF THE INSULATION. BATTING SHALL BE FIBER MATERIAL RESISTANT TO WIND DRIVEN PRESSURE. BATTING SHALL BE INSTALLED FROM THE TOP OF THE CEILING OF THE EXTENSION WALL, EXTENDING OUTWARD TO A POINT 1" VERTICALLY ABOVE THE HEIGHT OF NON COMPRESSED INSULATION AND 2" VERTICALLY ABOVE LOOSE FILL INSULATION.

OPEN-BLOWN OR POURED LOOSE FILL INSULATION MAY BE USED IN ATTIC SPACES WHERE THE SLOPE OF THE CEILING IS NOT MORE THAN 3 FEET IN 12 AND THERE IS AT LEAST 30" OF CLEAR DISTANCE FROM THE TOP OF THE BOTTOM CHORD OF THE TRUSS OR CEILING JOIST TO THE UNDERFACE OF THE BEARING AT THE ROOF EDGE.

FIREBLOCKING NOTE:

PROVIDE 2" FIREBLOCKING AT ALL CONCEALED SPACES OF BRID WALLS. BRID PARTITIONS INCLUDING FINISH SPACES AT THE CEILING AND FLOOR LEVELS AND AT 8" OF INTERVALS BOTH VERTICAL AND HORIZONTAL.

SHOWER NOTES:

ALL SHOWER RECEPTIONS SHALL BE TESTED FOR WATERPROOFING BY DELTAING TO THE LEVEL OF THE WALKER THRESHOLD. THE TEST PLUS SHALL BE TO PLACE THE WALKER AND WOOD BLOCKS OF THE SUB-PAN SHALL BE SUBJECTED TO THE TEST AT THE POINT WHERE IT IS CLAYED TO THE DRAIN. WATER TIGHTNESS IS USED AS A GUIDE FOR THE WALL PANELS FOR THE SHOWER, OR WATER CLOSET COMPARTMENT WALLS. WATER RESISTANT GYPSUM BOARD SHALL NOT BE USED IN THE FOLLOWING AREAS: OVER A VAPOR RETARDER IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY SUCH AS BATHS, STEAM ROOMS, OR GYM SHOWER ROOMS. ON CEILING WHERE THERE IS SPACING EXCEEDS 1" O.C.

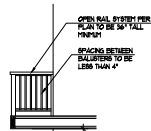
EGRESS NOTES:

ALL WINDOWS LABELED AS EGRESS ON PLAN MUST MEET THE MINIMUM REQUIREMENTS FOR EGRESS WINDOWS. EGRESS WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING AREA OF 5.7 SQ. FT. THE MINIMUM CLEAR OPENING HEIGHT SHALL BE 20" - THE MINIMUM CLEAR OPENING WIDTH SHALL BE 20" - HEIGHT TIMES THE WIDTH SHALL NOT BE LESS THAN 57 SQ. FT. ALL WINDOWS LABELED AS EGRESS ON PLAN SHALL HAVE AN OPENING HEIGHT OF NOT MORE THAN 44" ABOVE FINISH FLOOR LEVELS PER IBC 703.

HANDRAIL TO BE CONTIGUOUS AT ALL STAIRS IF MORE THAN 4' RUNS - RAIL TO RETURN TO WALL AT EACH END.

RAIL CROSS SECTION TO BE BETWEEN 1 1/2" AND 2"

HANDRAIL TO BE POINTED BETWEEN 1/4" AND 3/8" ABOVE STAIR NOSE



HAND RAIL DETAIL
1/4" = 1'-0"

TABLE M1507.3.3(1) FAN EFFICACY
CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW REQUIREMENTS

DUELLING UNIT (Square Feet)	NUMBER OF BEDROOMS			
	0 - 1	2 - 3	4 - 7	MORE THAN 7
LESS THAN 1000	30	40	40	50
1001 - 1500	40	45	50	50
1501 - 2000	40	50	50	50
2001 - 2500	50	50	50	50
2501 - 3000	50	50	50	50
MORE THAN 3000	50	50	50	50

WTR HTR NOTES:

IN BATHS OTHER THAN SHOWER, HEATERS SHALL BE ANCHORED OR BRACKETED TO THE WALL TO PREVENT DISPLACEMENT DUE TO WATER-GRADE DIFFERENTIALS. HEATERS SHALL BE INSTALLED WITHIN THE UPPER THIRD AND LOWER END OF ITS VERTICAL DIMENSION.

APPLIANCES CAPABLE OF PRODUCING A SPARK OR FLAME LOCATED IN A GARAGE SHALL BE INSTALLED WITH THE FLOOR AND DEPENDS OR HEATING ELEMENTS AT LEAST 18" ABOVE THE FLOOR SURFACE.

NATURAL GAS FUELED WATER HEATERS, FURNACE AND WTR WTR TO VENT TO OUTSIDE.

WTR WTR TO HAVE PRESSURE RELIEF VALVE TO DRAIN BY GRAVITY TO OUTSIDE.

IN ADDITION TO REQUIRED PRESSURE RELIEF VALVE, AN APPROVED AND LISTED EXPANSION TANK SHALL BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS.

SMOKE DETECTOR NOTE:

ALL SMOKE DETECTORS SHALL BE ON THE PLAN WITH SYMBOLS AT RIGHT TO BE DETECTED BY THE DETECTOR. REFER TO ILL CODE FOR ALL REQUIREMENTS. BATTERY.

ALL DETECTORS TO BE LABELED IN ACCORDANCE WITH ILL 217.

ALL DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE MAIN SERVICE AND BE EQUIPPED WITH BATTERY BACKUP WHEN THE PRIMARY POWER IS INTERRUPTED.

WIRING MULTIPLE DETECTORS ARE SHOWN ON THE PLAN. THE DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE ENTIRE IRR STRUCTURE.

R314.3 LOCATION

1. IN EACH SLEEPING ROOM.
2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM.
3. ON EACH ADDITIONAL FLOOR OF THE DWELLING INCLUDING BASEMENTS AND HABITABLE ATTICS BUT NOT INCLUDING CHIMNEY SPACES AND UNHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH MULTIPLE LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, SMOKE ALARMS SHALL BE INSTALLED ON THE UPPER LEVEL SHALL SURFACE FOR THE ADJACENT LOWER LEVEL, IF LESS THAN ONE (1) STORY BELOW UPPER LEVEL.
4. SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FEET HORIZONTALLY FROM THE DOOR OR OPENING OF A BEDROOM THAT CONTAINS A BATHROOM OR SHOWER UNLESS THE WOULD PREVENT PLACEMENT OF A SMOKE ALARM REQUIRED BY SECTION 903.
5. IN NAPPING AREAS IN A FAMILY HOME CHILD CARE.

R315.3.1 ALTERATIONS, REPAIRS, & ADDITION

WHEN ALTERATIONS, REPAIRS OR ADDITIONS REQUIRING A PERMIT OCCUR, OR WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED IN EXISTING DWELLINGS, THE INDIVIDUAL DWELLING UNIT SHALL BE EQUIPPED WITH SMOKE ALARMS AS REQUIRED FOR NEW DWELLINGS.

CARBON MONOXIDE ALARMS:

ALL CARBON MONOXIDE DETECTORS SHALL BE ON THE PLAN WITH SYMBOLS. TO THE RIGHT SHALL BE INSTALLED PER ILL 903 SECTION 903. REFER TO ILL CODE FOR ALL REQUIREMENTS.

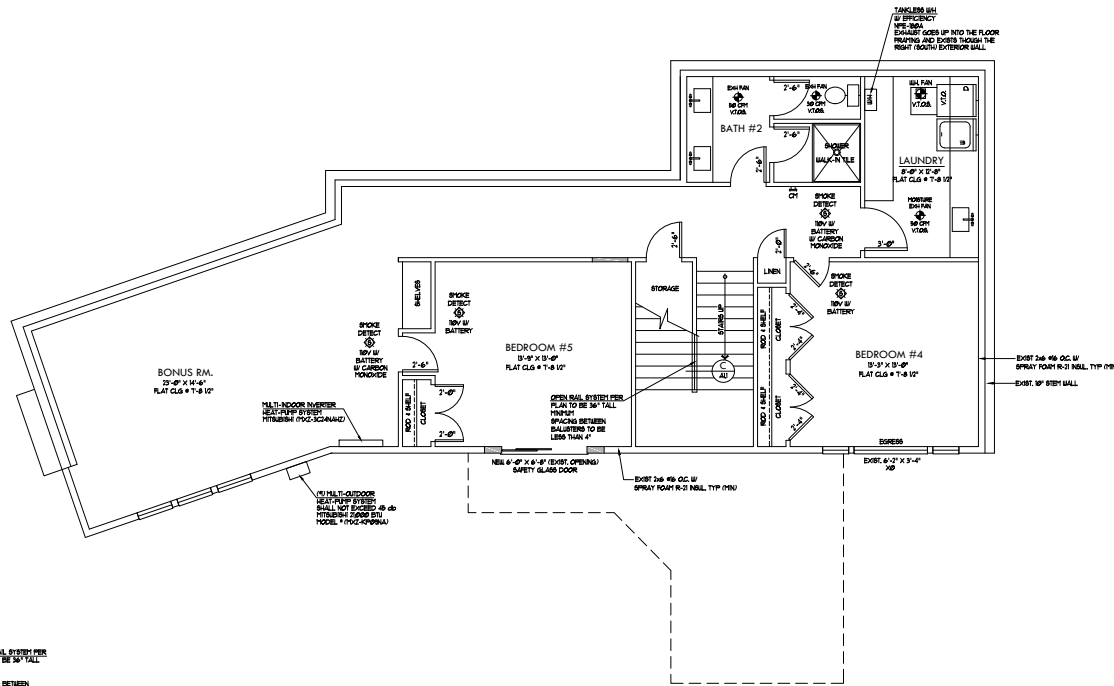
ALL DETECTORS TO BE LABELED IN ACCORDANCE WITH ILL 903 FOR SINGLE STATION ALARMS.

R315.2.2 ALTERATIONS, REPAIRS, AND ADDITIONS

EXISTING DWELLINGS SHALL BE EQUIPPED WITH CARBON MONOXIDE ALARMS IN ACCORDANCE WITH SECTION 903. AN INSPECTION WILL OCCUR WHEN ALTERATIONS, REPAIRS OR ADDITIONS REQUIRING A PERMIT OCCUR OR WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED.

R315.3 LOCATION

CARBON MONOXIDE ALARMS IN DWELLINGS SHALL BE INSTALLED ON EACH LEVEL OF THE DWELLING UNIT AND OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM. WHERE A RESIDENCE APPLIANCE IS LOCATED WITHIN A BEDROOM OR ITS ATTACHED BATHROOM, A CARBON MONOXIDE ALARM SHALL BE INSTALLED WITHIN THE BEDROOM.



PROPOSED LOWER FLOOR
1/4" = 1'-0"

GROSS FLOOR AREA CALCULATIONS

Building Area	Existing Area	Removed Area	Addition Area	Total
Upper Floor	0	0	0	0
Main Floor	2628	0	135	2763
Gross Basement	1338	0	0	1338
Garage / Carport	386	-386	562	562
Total Floor Area	4352	-386	697	4663
Lot Area				16560
Allowable Floor Area in R-9.6 Zoning			40%	6624
Proposed Gross Floor Area			28%	4663



CUSTOM HOMES
REMODELS
ADDITIONS
253-282-2277

PAVELTRAVEL@GMAIL.COM

SCALE:

1/4" = 1'-0"

ENGINEERING

BLDG DEPT:

MERCER ISLAND

CHECKED BY:

PRINT DATE:

03/30

REVISIONS

03/30 PRELIMINARY P/6

BUILDER APPROVAL:

DATE

OWNER APPROVAL:

DATE

DATE

PLAN NUMBER

2038

PROJECT

PREMIUM HOMES

OF MERCER ISL

REMODEL

2906 74th Ave SE

Mercer Island

WASHINGTON

98040

531.510.0836

SHEET TITLE:

PROPOSED

MAN FLOOR PLAN

SHEET NUMBER:

A-1.1

SCALE 1/4" = 1'-0"

GARAGE NOTE:

GARAGE SHALL BE REFINISHED TO MATCH THE FINISHES OF THE MAIN FLOOR. THE ATTIC AREA BEYOND THE GARAGE SHALL BE REFINISHED TO MATCH THE FINISHES OF THE MAIN FLOOR. THE GARAGE SHALL BE FINISHED TO MATCH THE FINISHES OF THE MAIN FLOOR. THE GARAGE SHALL BE FINISHED TO MATCH THE FINISHES OF THE MAIN FLOOR.

INSULATION BAFFLE NOTE:

WHEN EAVE VENTS ARE INSTALLED, BATTING OF THE VENT OPENING SHALL BE PROVIDED AS TO DEFLECT THE MOISTURE AIR ABOVE THE SURFACE OF THE INSULATION. BATTING SHALL BE RIGID MATERIAL RESISTANT TO AIR AND OPEN FLOORS. BATTING SHALL BE INSTALLED FROM THE TOP OF THE CEILING TO THE TOP OF THE INSULATION. THE HEIGHT OF THE INSULATION SHALL BE VERTICALLY ABOVE LOOSE FILL INSULATION.

FIREBLOCKING NOTE:

PROVIDE 2" FIREBLOCKING AT ALL CONCRETE SPACES OF BRID WALLS AND PARTITIONS INCLUDING FINISHED SPACES AT THE CEILING AND FLOOR. PROVIDE AT 8" INTERVALS BOTH VERTICAL AND HORIZONTAL.

SHOWER NOTES:

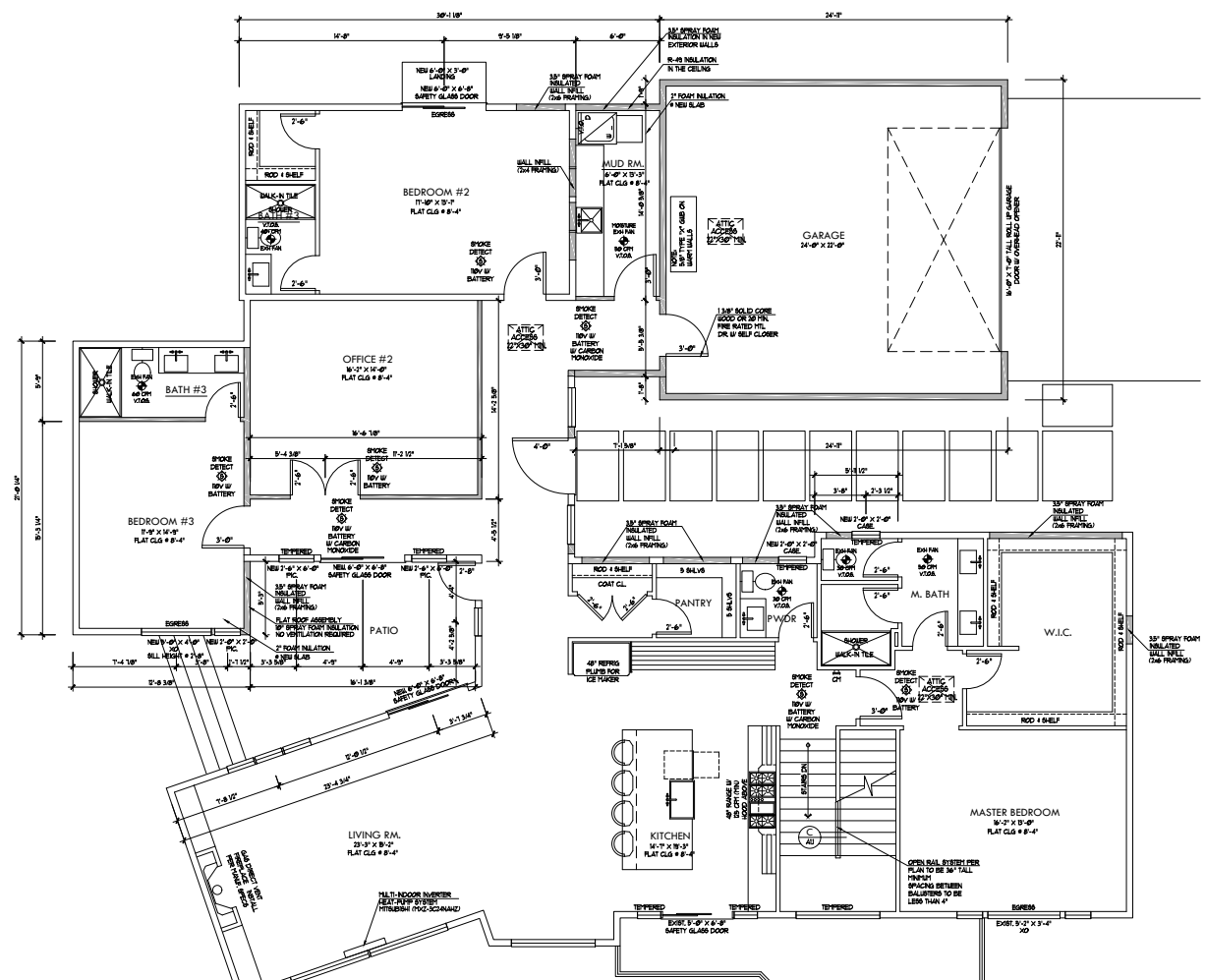
ALL SHOWER RECEPTIONS SHALL BE TESTED FOR WATER-TIGHTNESS BY FILLING WITH WATER TO THE LEVEL OF THE SHOWER TRAY. THE TEST SHALL BE SO PLACED THAT BOTH UPPER AND LOWER SURFACES OF THE SHOWER SHALL BE TESTED. TEST AT THE POINT WHERE IT IS CLIPPED TO THE DRAIN.

EGRESS NOTES:

ALL WINDOWS LABELED AS EGRESS ON PLAN MUST MEET THE TRANSPORT REQUIREMENTS FOR EGRESS WINDOWS. EGRESS WINDOWS SHALL HAVE A "NET CLEAR OPENING AREA OF 5.7 SQ FT PER 100 SQ FT OF FLOOR AREA."

TEMPERED GLAZING NOTE:

WINDOWS LABELED "TEMPERED" ON FLOOR PLAN SHALL COPY TO THE REPAIR MANUFACTURER. DESIGNATING THE TYPE AND THICKNESS OF GLASS AND THE SAFETY GLAZING STANDARD WITH EACH WINDOW SHALL BE VISIBLE IN THE FINAL INSTALLATION.



WIRING NOTES:

IN FINISHED SPACES WITH WATER HEATERS SHALL BE ANCHORED OR BRACKETED TO PREVENT DISPLACEMENT DUE TO SEISMIC ACTIVITY. POINTS WITHIN THE UPPER THIRD AND LOWER THIRD OF ITS VERTICAL EXTENSION.

SMOKE DETECTOR NOTE:

ALL SMOKE DETECTORS SHALL BE INSTALLED IN EACH SLEEPING ROOM AND IN EACH LEVEL OF THE BUILDING INCLUDING GARAGES AND ATTACHED GARAGES. ALL DETECTORS TO BE LABELED IN ACCORDANCE WITH ILL. 27.

R314.3 LOCATION:

1. IN EACH SLEEPING ROOM.
2. IN EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM.
3. IN EACH LEVEL OF THE BUILDING INCLUDING GARAGES AND ATTACHED GARAGES INCLUDING ATTACHED GARAGES AND ATTACHED GARAGES.
4. IN EACH LEVEL OF THE BUILDING INCLUDING GARAGES AND ATTACHED GARAGES INCLUDING ATTACHED GARAGES AND ATTACHED GARAGES.
5. IN ANY AREA IN A FAMILY HOPE CHILD CARE.

R314.3.1 ALTERATIONS, REPAIRS, & ADDITION:

WHEN ALTERATIONS, REPAIRS OR ADDITIONS REQUIRING A PERMIT OCCUR ON ONE OR MORE SLEEPING ROOMS ARE ACCORD OR CREATED IN EXISTING BUILDINGS, THE INDIVIDUAL CHANGING OUT SHALL BE EQUIPPED WITH SMOKE ALARMS AS REQUIRED FOR NEW CHANGING.

CARBON MONOXIDE ALARMS:

ALL CARBON MONOXIDE DETECTORS SHALL BE INSTALLED IN EACH LEVEL OF THE BUILDING INCLUDING GARAGES AND ATTACHED GARAGES INCLUDING ATTACHED GARAGES AND ATTACHED GARAGES.

R315.2.2 ALTERATIONS, REPAIRS, AND ADDITIONS:

EXISTING CHANGING OUT SHALL BE EQUIPPED WITH CARBON MONOXIDE ALARMS IN ACCORDANCE WITH SECTION 9008.1. AN INSPECTION WILL OCCUR WHEN ALTERATIONS, REPAIRS OR ADDITIONS REQUIRING A PERMIT OCCUR ON ONE OR MORE SLEEPING ROOMS ARE ACCORD OR CREATED.

R315.3 LOCATION:

CARBON MONOXIDE ALARMS IN CHANGING OUT SHALL BE INSTALLED ON EACH LEVEL OF THE BUILDING INCLUDING GARAGES AND ATTACHED GARAGES INCLUDING ATTACHED GARAGES AND ATTACHED GARAGES.

PROPOSED MAIN FLOOR

1/4" = 1'-0"

GROSS FLOOR AREA CALCULATIONS				
Building Area	Existing Area	Removed Area	Addition Area	Total
Upper Floor	0	0	0	0
Main Floor	2628	0	135	2763
Gross Basement	1338	0	0	1338
Garage / Carport	386	-386	562	562
Total Floor Area	4352	-386	697	4663
Lot Area				16560
Allowable Floor Area in R-9.6 Zoning				40% 6624
Proposed Gross Floor Area				28% 4663

PS HOME DESIGNS

CUSTOM HOMES
REMODELS
ADDITIONS
253-282-2277

PAVELTRAVEL@GMAIL.COM

SCALE:
1/4" = 1'-0"

ENGINEERING

BLDG DEPT:
MERCER ISLAND

CHECKED BY:
[Signature]

PRINT DATE:
03/20

REVISIONS

03/20	PRELIMINARY	Pv6
03/22	CORRECTIONS	Pv6

BUILDER APPROVAL:
DATE: _____

OWNER APPROVAL:
DATE: _____

PLAN NUMBER

PROJECT

PREMIUM HOMES
OF MERCER ISL
REMODEL

2906 74th Ave SE
Mercer Island
WASHINGTON
98040

531510.0836

SHEET TITLE:
PROPOSED
LOWER FLOOR PLAN

SHEET NUMBER:
A-1.2



PS HOME
DESIGNS

CUSTOM HOMES
REMODEL
ADDITIONS
253-282-2277

PAVELTRAVEL@GMAIL.COM

SCALE:
1" = 10'-0"

ENGINEERING

BLDG DEPT:
MERCER ISLAND

CHECKED BY:

PRINT DATE:
4/22

REVISIONS

12/20	AS-BUILT	PV5
12/22	SITE PLAN	PV5
4/22	CORRECTIONS	PV5

BUILDER APPROVAL:

DATE

DATE

OWNER APPROVAL:

DATE

DATE

PLAN NUMBER

PROJECT

PREMIUM HOMES
OF MERCER ISLAND

2906 74TH AVE SE
Mercer Island
WASHINGTON

531510-0834

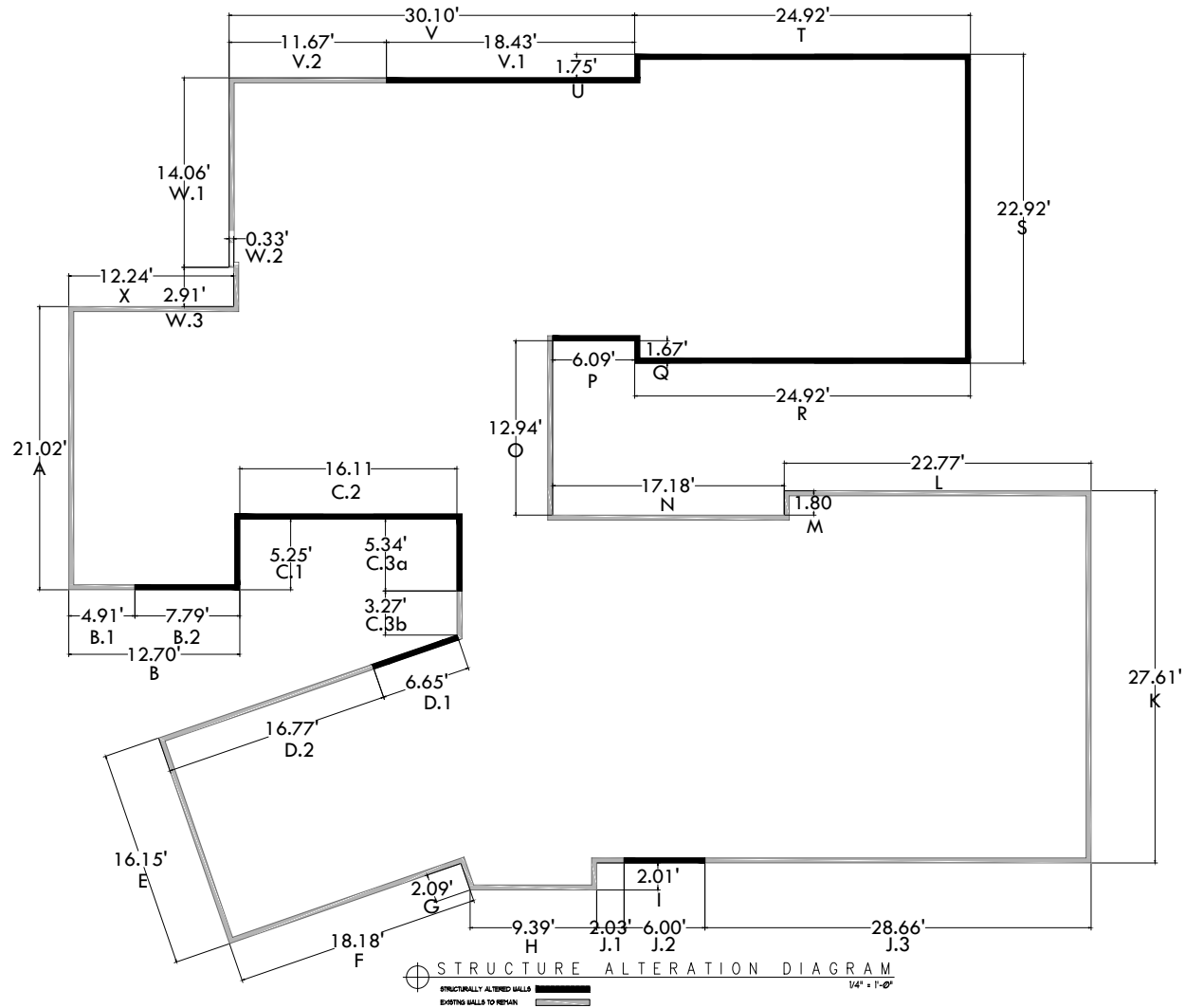
SHEET TITLE:

STRUCTURE

ALTERATION DIAGRAM

SHEET NUMBER

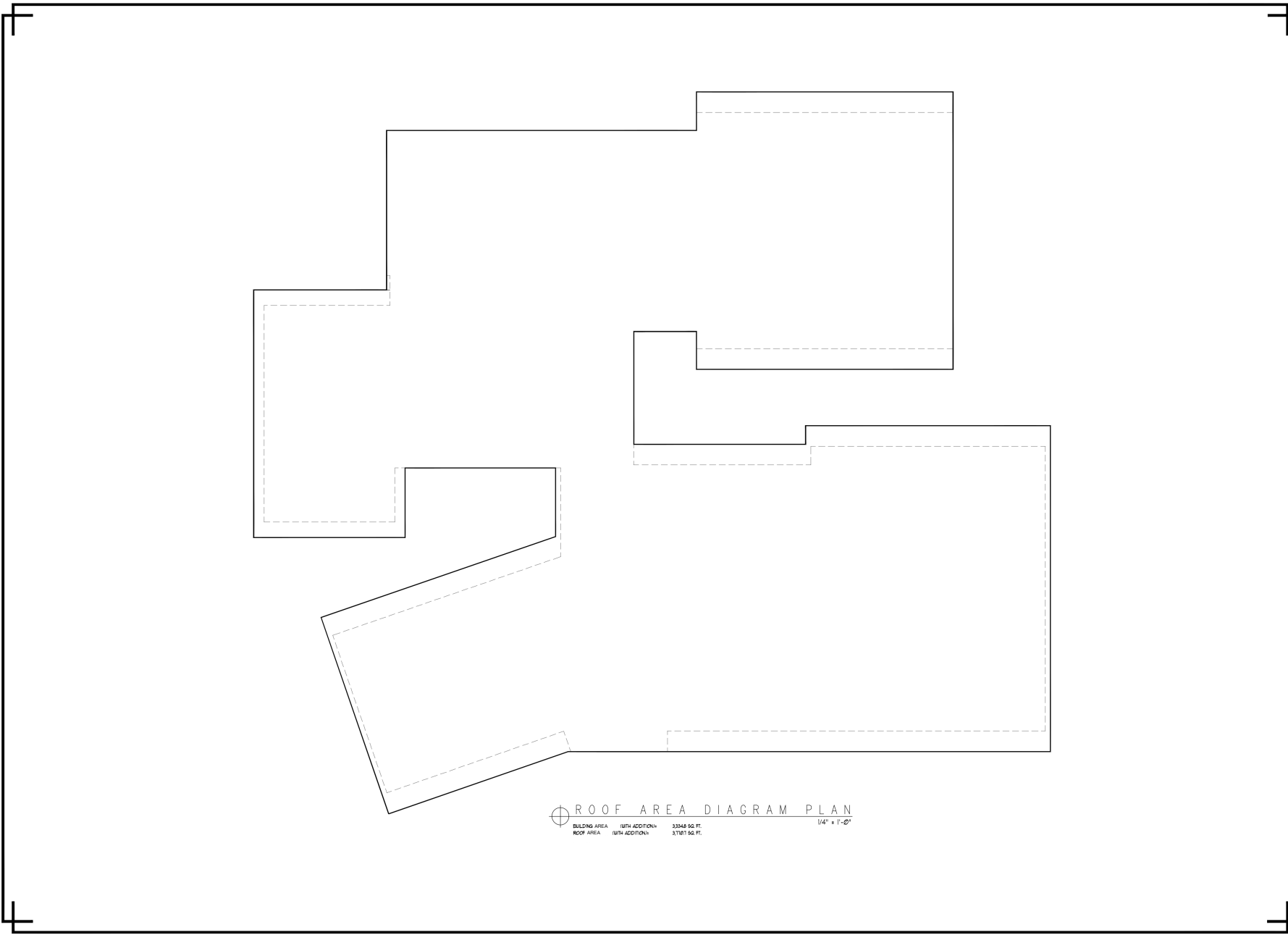
A-1.3



STRUCTURE ALTERATION DIAGRAM
1/4" = 1'-0"

STRUCTURALLY MODIFIED EXTERIOR WALL LENGTH CALCULATIONS

WALL SEGMENT ID	A	B	C1	C2	C3	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W	X	TOTALS
WALL LENGTH IN FEET	21.02	12.7	5.25	16.11	8.61	23.42	16.15	18.18	2.09	9.39	2.01	36.69	27.61	22.77	1.8	17.18	12.94	6.09	1.67	24.92	22.92	24.92	1.75	30.1	17.3	12.24	395.83
STRUCTURALLY MODIFIED PORTION OF EXTERIOR WALLS IN FEET	0	7.79	5.25	16.11	5.34	6.65	0	0	0	0	0	6	0	0	0	0	0	6.09	1.67	24.92	22.92	24.92	1.75	18.43	0	0	147.84
RATIO OF MODIFIED EXTERIOR WALLS TO ALL EXTERIOR WALLS: 37%																											




ROOF AREA DIAGRAM PLAN
BUILDING AREA 33348 SQ. FT. WITH ADDITIONS 37101 SQ. FT.
 ROOF AREA WITH ADDITIONS 1/4" = 1'-0"


**PS HOME
DESIGNS**
 CUSTOM HOMES
 REMODELS
 ADDITIONS
 253-282-2277
PAVELTRAVEL@GMAIL.COM

SCALE:
 1/4" = 1'-0"
ENGINEERING
BLDG. DEPT.:
 MERCER ISLAND
CHECKED BY:
PRINT DATE:
 05.20
REVISIONS
 02.20 PRELIMINARY PVS
BUILDER APPROVAL:
 _____ DATE _____
OWNER APPROVAL:
 _____ DATE _____

PLAN NUMBER
PROJECT
**PREMIUM HOMES
OF MERCER ISL
REMODEL**
 2906 74th Ave SE
 Mercer Island
 WASHINGTON
 98040
531510-0836
SHEET TITLE:
 ROOF AREA
 DIAGRAM PLAN
SHEET NUMBER:
A-1.4



PS HOME
DESIGNS

CUSTOM HOMES
REMODELS
ADDITIONS
253-282-2277

FAVELTRAVEL@GMAIL.COM

SCALE:

1/4" = 1'-0"

ENGINEERING:

BLDG DEPT:
MERCER ISLAND

CHECKED BY:

PRINT DATE:
4/22

REVISIONS

4330 PRELIMINARY PV6
4332 CORRECTIONS PV6
4/22 CORRECTIONS PV6

BUILDER APPROVAL:

DATE

DATE

OWNER APPROVAL:

DATE

DATE

PLAN NUMBER

PROJECT

PREMIUM HOMES
OF MERCER ISL
REMODEL

2906 74th Ave SE
Mercer Island
WASHINGTON
98040

531510-0836

SHEET TITLE:
PROPOSED
LOWER FLOOR PLAN

SHEET NUMBER

A-2.1

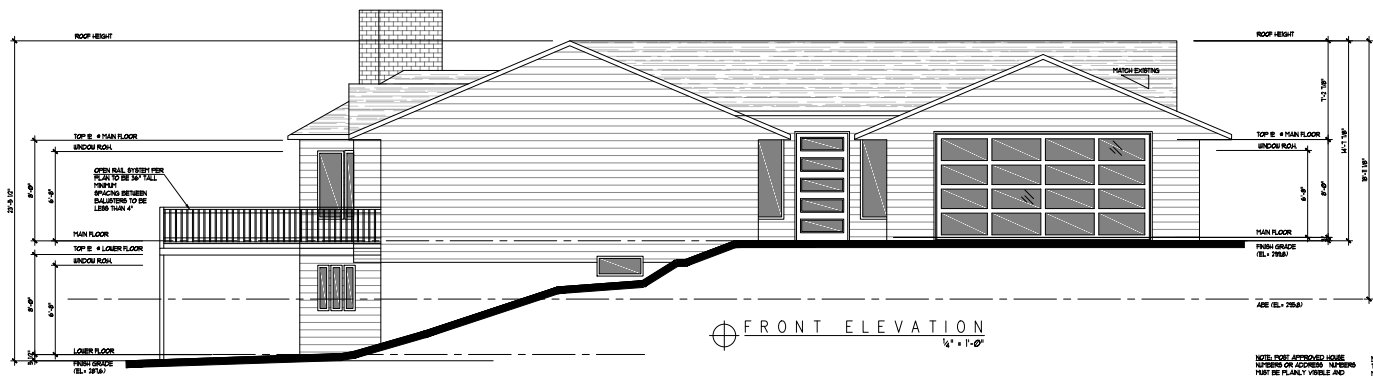
WALL FLASHING NOTE

APPROVED CORROSION RESISTIVE FLASHING SHALL BE PROVIDED IN THE EXTERIOR WALL ENVELOPE IN SUCH A MANNER AS TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL TRUSS COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL TRIM AND SHALL BE RETAINED TO PREVENT WATER FROM RESISTING THE EXTERIOR WALL ENVELOPE. APPROVED CORROSION-RESISTANT FLASHINGS SHALL BE RETAINED AT ALL OF THE FOLLOWING LOCATIONS AS APPLICABLE:

- A. AT THE TOP OF ALL EXTERIOR WINDOWS AND DOOR OPENINGS IN SUCH A MANNER AS TO BE LEAK PROOF EXCEPT THAT SELF FLASHING UNDOES HAVING A CONTINUOUS LAP OF NOT LESS THAN 1" OVER THE BUILDING MATERIAL. REGARD THE POSITION OF THE OPENING INCLUDING CORNER, DO NOT REQUIRE ADDITIONAL FLASHING. WATER FLASHING MAY ALSO BE OBTAINED UNDER SPECIFICALLY APPROVED BY THE BUILDING OFFICIAL.
- B. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUD WALLS WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO CORNER.
- C. UNDER AND AT THE ENDS OF MASONRY, METAL OR WOOD CORNICES AND SILLS.
- D. CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.
- E. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR JOIST/LET OF WOOD TRAPE CONSTRUCTION.
- F. AT WALL AND ROOF INTERSECTIONS.
- G. AT BUILT-IN GUTTERS.

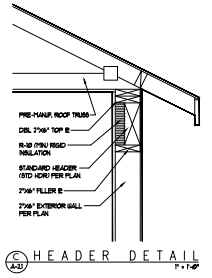
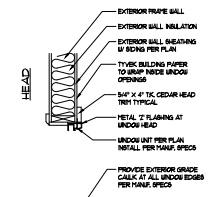
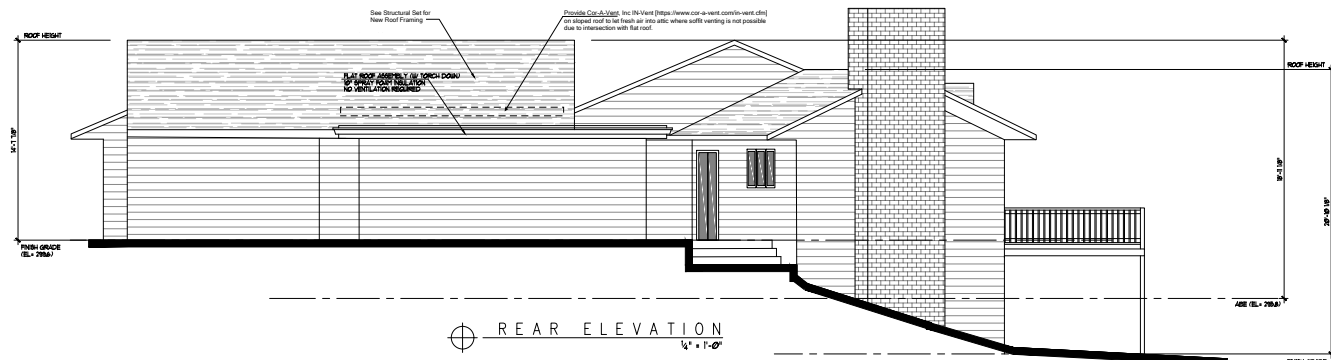
NOTE: ROOF APPROVED HOUSE NUMBER OR ADDRESS. MEASUREMENTS FROM THE STREET OR ROAD FRONTING THE DWELLING.

NOTE: ALL EXTERIOR TRIMS TO HAVE MINIMUM RISE OF 1" AND FINISH TRIM 1/2" OF 1/2" PROVIDE APPROVED FLASHING FOR ALL DISCONTINUOUS EXCEEDING 1/2" ABOVE FINISH GRADE.



SITE DRAINAGE NOTE

SURFACE DRAINAGE SHALL BE PROVIDED TO A STORM SEWER CONDUIT AND/OR APPROVED POINT OF COLLECTION REFER TO SITE PLAN SO AS TO NOT CREATE A HAZARD. LOTS SHALL BE GRACED SO AS TO DRAIN WATER AWAY FROM FOUNDATION WALLS. GRADE SHALL FALL A MINIMUM OF 4" WITHIN THE FIRST 10'-0". THESE LOT SLOPES SHALL ALLOW FOR OTHER PHYSICAL BARRIER PRESENT AT 4" FALL WITHIN 10'-0". DRAINAGE OR SILLS SHALL BE PROVIDED TO ENSURE DRAINAGE AWAY FROM STRUCTURE.



See Structural Set for New Roof Framing

Photo Credit: Vlog, Inc. No View (https://www.cas-a-west.com/n-west-01) or shared used for the look at any site, where a full writing is not possible due to intersection with flat roof.

NOTE: ROOF APPROVED HOME
NEEDS ON ADDRESS NUMBERS
NEAR PLAN VISIBLE AND
LEASABLE FROM THE STREET OR
ROAD FRONTING THE SHELING

NOTE: ALL EXTERIOR STEPS
TO HAVE MAXIMUM RISE OF 1"4" AND
MINIMUM HEAD ROOM OF 8"0"
PROVIDE APPROVED RAILING
FOR ALL DECKLANDINGS EXCEEDING
3"0" ABOVE FINISH GRADE

SITE DRAINAGE NOTE

SURFACE DRAINAGE SHALL BE DIVERTED
TO A STORM SEWER CONDUITANCE OR OTHER
APPROVED POINT OF COLLECTION REFER TO
SITE PLAN SO AS TO NOT CREATE A HAZARD

LOTS SHALL BE GRADED SO AS TO DRAIN
WATER AWAY FROM FOUNDATION WALLS
GRADE SHALL FALL A MINIMUM OF 6" WITHIN
THE FIRST 10'-0" WHERE LOT LINES SLOPES
OR OTHER PHYSICAL BARRIERS PRESENT 6" OF
FALL WITHIN 10'-0" DRAIN OR BARRIERS SHALL BE
PROVIDED TO ENSURE DRAINAGE AWAY FROM STRUCTURE

WALL FLASHING NOTE

APPROVED CORROSION RESISTIVE FLASHING SHALL BE PROVIDED
IN THE EXTERIOR WALL ENVELOPE AS TO PREVENT
ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER
TO THE BUILDING STRUCTURAL SUPPORTING COMPONENTS. THE FLASHING
SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FROM AND
EXTERIOR SHALL INCLUDE APPROVED CORROSION RESISTIVE
FLASHINGS SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS
AS APPLICABLE:

- AT THE TOP OF ALL EXTERIOR WINDOW AND DOOR OPENINGS
IN SUCH A MANNER AS TO BE LEAK PROOF EXCEPT THAT
IF FLASHING ENDS WITH A CONTIGUOUS LAP OF NOT
LESS THAN 1"6" OVER THE SEALING MATERIAL AROUND THE
PERIMETER OF THE OPENING INCLUDING CORNERS DO NOT
REQUIRE ADDITIONAL FLASHING. JAPES FLASHING MAY ALSO
BE OPTED WHEN SPECIFICALLY APPROVED BY THE
BUILDING OFFICIAL.
- AT THE INTERSECTION OF GUTTERS OR OTHER MASONRY
CONSTRUCTION WITH FRAMING OR BRICK WALLS WITH
PROJECTING LIPS ON BOTH SIDES UNDER BRICKS CORNERS.
- UNDER AND AT THE EDGE OF MASONRY, METAL OR WOOD
CORNERS AND SILLS.
- CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.
- WHERE EXTERIOR FINISHES (WOOD OR FRAMING) ATTACH TO
A WALL OR FLOOR ASSEMBLY OF WOOD FRAME CONSTRUCTION.
- AT WALL AND ROOF INTERSECTIONS.
- AT BUILT-IN GUTTERS.

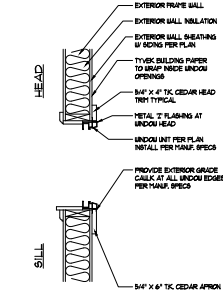


LEFT ELEVATION
1/4" = 1'-0"

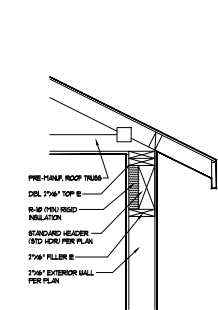
SITE DRAINAGE NOTE

SURFACE DRAINAGE SHALL BE DIVERTED
TO A STORM SEWER CONDUITANCE OR OTHER
APPROVED POINT OF COLLECTION REFER TO
SITE PLAN SO AS TO NOT CREATE A HAZARD

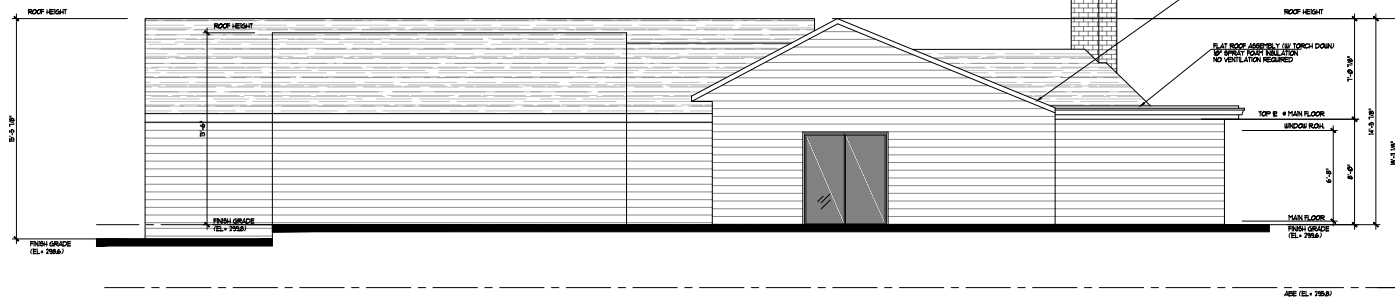
LOTS SHALL BE GRADED SO AS TO DRAIN
WATER AWAY FROM FOUNDATION WALLS
GRADE SHALL FALL A MINIMUM OF 6" WITHIN
THE FIRST 10'-0" WHERE LOT LINES SLOPES
OR OTHER PHYSICAL BARRIERS PRESENT 6" OF
FALL WITHIN 10'-0" DRAIN OR BARRIERS SHALL BE
PROVIDED TO ENSURE DRAINAGE AWAY FROM STRUCTURE



WINDOW TRIM DETAILS
N.T.S.



HEADER DETAIL
1/4" = 1'-0"



RIGHT ELEVATION
1/4" = 1'-0"



CUSTOM HOMES
REMODELS
ADDITIONS
253-282-2277

PAVELTRAVEL@GMAIL.COM

SCALE:
1/4" = 1'-0"

ENGINEERING

BLDG DEPT:
MERCER ISLAND
CHECKED BY:

PRINT DATE:
4/22

REVISIONS

02/30	PRELIMINARY	Pv6
4/3/22	CORRECTIONS	Pv6
4/1/22	CORRECTIONS	Pv6

BUILDER APPROVAL:

DATE

DATE

OWNER APPROVAL:

DATE

DATE

PLAN NUMBER

PROJECT

PREMIUM HOMES
OF MERCER ISL
REMODEL

2906 74th Ave SE
Mercer Island
WASHINGTON
98040

531510-0836

SHEET TITLE:
PROPOSED
LOWER FLOOR PLAN

SHEET NUMBER:
A-2.2



2906 74TH AVE
 SE REMODEL

2906 74TH AVE SE,
 MERCER ISLAND, WA
 98040

DRAWING INFO

ISSUE DATE 03-16-22

ISSUED FOR PERMIT

PROJECT NO. 20242

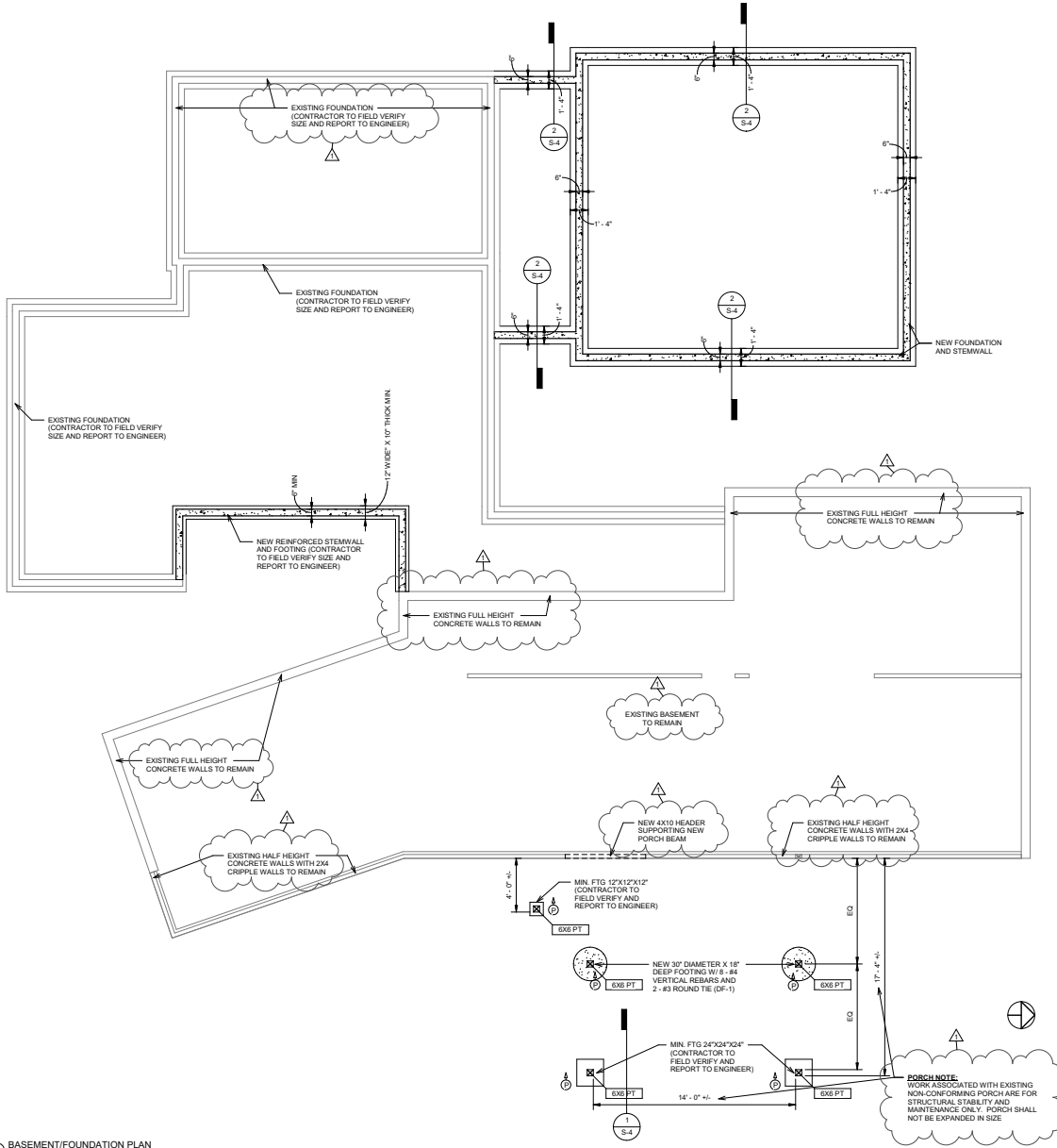
ENGINEER BB

REVISION SCHEDULE

NO.	DATE	DESCRIPTION
1	03/16/22	Revision 1

BASEMENT/
 FOUNDATION
 PLAN

S-1



IMPORTANT NOTES ON FIELD VERIFICATIONS AND TEMPORARY SHORING:

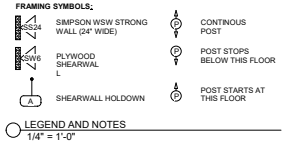
1. CONTRACTOR SHALL REVIEW STRUCTURAL DRAWINGS AND FIELD VERIFY ALL RELATED EXISTING FRAMING & DIMENSIONS PRIOR TO ANY FIELD WORK. NOTIFY THE ENGINEER/OWNER ANY DISCREPANCIES FOUND IN THE FIELD. STRUCTURAL DRAWINGS MAY NOT CORRECTLY REFLECT ALL EXISTING FRAMING DUE TO LIMITED ACCESS TO THE SITE AND EXISTING DRAWINGS.
2. CONTRACTOR SHALL FIELD VERIFY AND NOTIFY THE ENGINEER/OWNER OF EXISTING MECHANICAL DUCTS, PLUMBING PIPES, ELECTRICAL WIRES THAT MAY INTERFERE WITH STRUCTURAL WORKS FOR COST CONSIDERATIONS PRIOR TO ANY FIELD WORK.
3. CONTRACTOR IS SOLELY RESPONSIBLE IN PROVIDING PROPER TEMPORARY SHORING PRIOR TO REMOVING ANY STRUCTURAL ELEMENTS. PLEASE CALL ENGINEER FOR QUESTIONS

IMPORTANT NOTES ON FOUNDATION AND FRAMING:

1. ALL FOOTINGS SHALL BEAR ON SUITABLE SOIL SUCH AS MIN. OF MEDIUM DENSE NATIVE SOIL OR COMPACTED STRUCTURAL FILL (NO SOFT OR ORGANIC MATERIALS). GEOTECHNICAL ENGINEER MAY BE REQUIRED TO ASSESS EXISTING SOIL CONDITIONS.
2. FOR FRAMING LUMBER TYPES AND GRADES, AND CONCRETE MIX REQUIREMENTS PLEASE SEE S-0
3. FOR PLYWOOD/OSB SHEARWALL SCHEDULE, PLEASE SEE S-4
4. FOR COMMON HEADER FRAMING DETAIL AND HEADER SIZE, SEE S-4
5. PROVIDE (2) 2X6 OR (3) 2X4 STUD POSTS AT EACH END OF BEAMS, UNLESS NOTED OTHERWISE ON PLAN
6. SLAB ON GRADE SHALL BE MIN. 4" THICK WITH #3 AT 18" EACH WAY (AT MID-DEPTH) ON 6" COMPACTED CRUSHED ROCK. PROVIDE 1" SAWCUT JOINT AT 15 FT MAX. SPACING EACH WAY.
7. FLOOR SHEATHING SHALL BE 3/4" PLYWOOD OR OSB WITH 10d AT 6" NAILING AT EDGES AND AT 12" AT FIELD.
8. ROOF SHEATHING SHALL BE 1/2" PLYWOOD OR OSB WITH 8d AT 6" NAILING AT EDGES AND AT 6" AT FIELD.

IMPORTANT NOTES ON TRUSS AND FLOOR FRAMING DESIGN/SHOP DRAWINGS:

1. TRUSS FRAMING LAYOUT SHOWN IS GENERAL CONCEPT ONLY. CONTRACTOR/ TRUSS SUPPLIER MUST SUBMIT TRUSS SHOP DRAWINGS INCLUDING TRUSS TEMPORARY PERMANENT BRACING PLANS FOR ENGINEERS REVIEW
2. TRUSS FRAMING PROFILE LAYOUT SHOULD CONFORM TO BOTH STRUCTURAL AND ARCHITECTURAL DRAWINGS. ANY DEVIATIONS SHALL BE APPROVED BY ENGINEER/ ARCHITECT PRIOR TO TRUSS DESIGN WORK.
3. TRUSS DEFLECTION CRITERIAS:
 FLOOR/DECK TOTAL LOAD = L1400 ROOF TOTAL LOAD = L240
 FLOOR/DECK LIVE LOAD = L1600 ROOF SNOW LOAD = L200
 *MAXIMUM TOTAL LOAD DEFLECTION SHOULD NOT EXCEED 1/8" IN ALL CASES
4. FLOOR/ROOF FRAMING LAYOUT AND CONNECTORS (SUCH AS LUMBER PACKAGE BY SUPPLIERS) MUST BE SUBMITTED FOR ENGINEERS REVIEW PRIOR TO CONSTRUCTION



BASEMENT/FOUNDATION PLAN
 1/4" = 1'-0"



2906 74TH AVE SE REMODEL

2906 74TH AVE SE,
MERCER ISLAND, WA
98040

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ISSUE DATE 03-16-22

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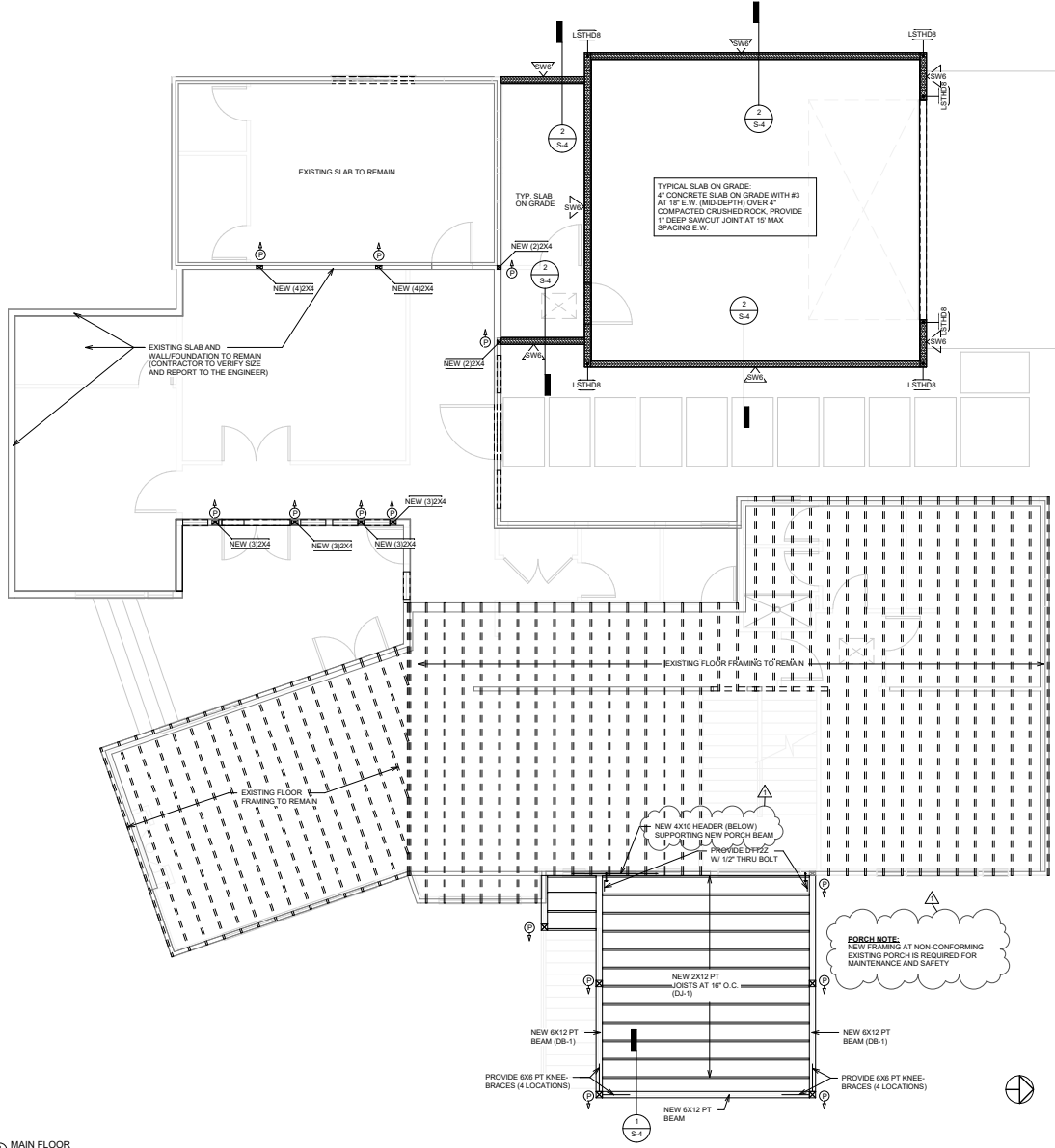
ENGINEER BB

REVISION SCHEDULE

NO.	DATE	DESCRIPTION
1	03/16/22	Revision 1

MAIN FLOOR FRAMING PLAN

S-2



1 MAIN FLOOR
1/4" = 1'-0"



2906 74TH AVE SE REMODEL

2906 74TH AVE SE,
MERCER ISLAND, WA
98040

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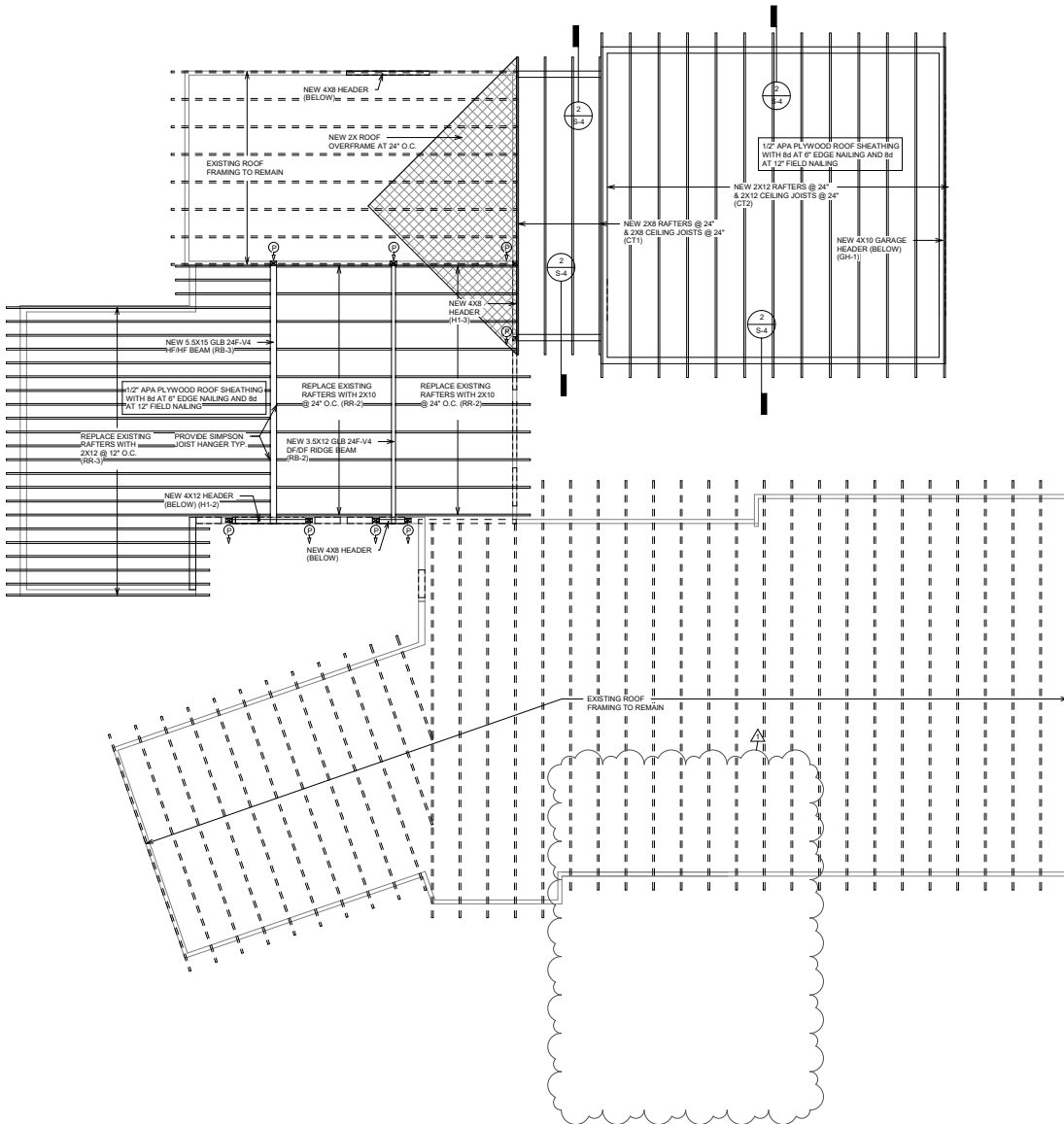
PROJECT NO. 20242

ENGINEER BB

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION
1	03/16/22	Revision 1

ROOF FRAMING PLAN

S-3



1 ROOF PLAN
1/4" = 1'-0"



2906 74TH AVE
 SE REMODEL

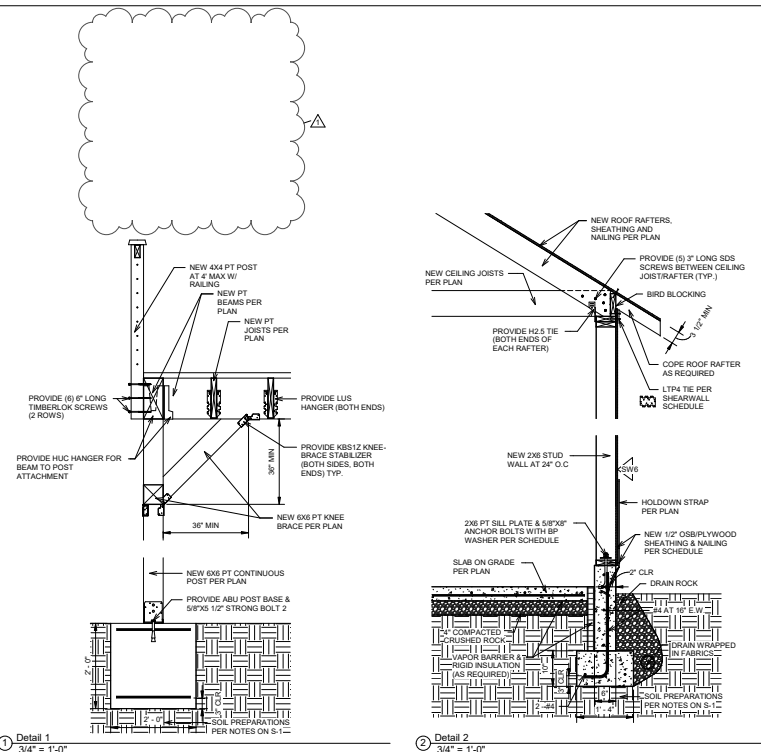
2906 74TH AVE SE,
 MERCER ISLAND, WA
 98040

DRAWING INFO

ISSUE DATE	03-16-22	
ISSUED FOR PERMIT		
PROJECT NO.	20242	
ENGINEER	BB	
REVISION SCHEDULE		
NO.	DATE	DESCRIPTION
1	03/16/22	Revision 1

FRAMING DETAILS

S-4



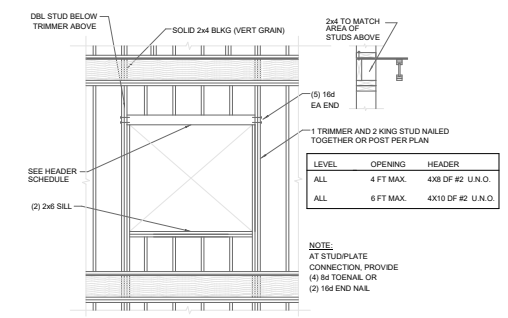
1 Detail 1
 3/4" = 1'-0"

2 Detail 2
 3/4" = 1'-0"

TYPE	PLYWOOD OR OSB SHEATHING (NOTE 7)	PANEL EDGE NAILING (NOTE 4)	PANEL EDGE STUDS AND BLKG	ANCHOR BOLTS AT SILL PLATE (NOTE 8)	TOP/SILL PLATE TO BLOCKING/ RIM (NOTE 9)	BOTTOM PLATE TO BLOCKING/ RIM (NOTE 4)	CAPACITY (LRFD) (SEISMIC/WIND)
SW6	15/32" PLY/OSB ONE SIDE	10d COM AT 6"	2x	5/8" AT 36" O.C.-2x	SIMPSON LTP4 AT 24" O.C.	16d COM AT 6" O.C.-NARROW	496 PLF/ 696 PLF
SW4	15/32" PLY/OSB ONE SIDE	10d COM AT 4"	2x (SEE NOTE 5)	5/8" AT 24" O.C.-2x	SIMPSON LTP4 AT 18" O.C.	16d COM AT 4" O.C.-NARROW	728 PLF/ 1032 PLF
SW3	15/32" PLY/OSB ONE SIDE	10d COM AT 3"	3x	5/8" AT 18" O.C.-2x	SIMPSON LTP4 AT 12" O.C.	16d COM AT 3" O.C.-WIDE	960 PLF/ 1344 PLF
SW2	15/32" PLY/OSB ONE SIDE	10d COM AT 2"	3x	5/8" AT 12" O.C.-2x	SIMPSON LTP4 AT 8" O.C.	16d COM AT 2" O.C.-WIDE	1232 PLF/ 1724 PLF
SW44	15/32" PLY/OSB TWO SIDES	10d COM AT 4"	2x	5/8" AT 18" O.C.-3x	SIMPSON LTP4 AT 18" O.C. B.S.	(2) 16d COM AT 4" O.C.-WIDE	1472 PLF/ 2054 PLF
SW33	15/32" PLY/OSB TWO SIDES	10d COM AT 3"	3x	5/8" AT 18" O.C.-3x	SIMPSON LTP4 AT 12" O.C. B.S.	(2) 16d COM AT 3" O.C.-WIDE	1920 PLF/ 2688 PLF
SW22	15/32" PLY/OSB TWO SIDES	10d COM AT 2"	3x	5/8" AT 12" O.C.-3x	SIMPSON LTP4 AT 8" O.C. B.S.	(2) 16d COM AT 2" O.C.-WIDE	2464 PLF/ 3448 PLF

- SHEARWALL SCHEDULE NOTES:**
- ALL PANEL EDGES TO OCCUR OVER STUDS, PLATES, RIMS OR HORIZONTAL BLOCKING AT WALLS
 - NAIL SHEATHING TO INTERMEDIATE SUPPORTS/FIELD NAILING 10d AT 12" O.C.
 - ALL NAILS INTO 3x MEMBERS SHALL BE STAGGERED.
 (2x) STUDS MAY BE USED IN LIEU OF 3x STUDS AT PANEL JOINTS.
 NAIL STUDS TOGETHER W/2 ROWS 16d COMMON AT 18" O.C. AT SINGLE SIDE SHEATHING AND NAIL WITH 2 ROWS OF 16d COMMON AT 3" O.C. AT DOUBLE SHEATHED WALLS.
 - COM DENOTES COMMON NAILS. MIN. NAIL PENETRATION INTO PLATE, RIM OR BLOCKING SHALL BE 1 5/8". STAGGER BOTTOM PLATE NAILING.
 - FOR SHEARWALL SW4, ALL FRAMING MEMBERS RECEIVING EDGE NAILINGS FROM ABUTTING PANELS SHALL BE 3x OR (2) 2x NAILED TOGETHER WITH 16d AT 1'
 - WHERE SHEATHING IS APPLIED TO BOTH SIDES OF WALL, OFFSET PANEL EDGES TO FALL ON DIFFERENT STUDS.
 - PROVIDE SHEAR WALL SHEATHING AND NAILING FOR ENTIRE LENGTH OF WALLS NOTED ON PLAN. PROVIDE HOLD-DOWNS PER PLAN AT EACH END OF WALL LING.
 PROVIDE (2) 2x STUDS AT ENDS OF ALL SHEARWALL FACE NAIL MULTIPLE STUDS WITH 16d AT 12" PROVIDE PANEL EDGE NAILING AT EACH HOLD-DOWN STUD AT END OF WALL.
 - ALL FOUNDATION SILL PLATES SHALL BE PT MEMBERS AND THE ANCHOR BOLTS SHALL HAVE MIN. OF 7" EMBEDMENT WITH 16d x 17" x 3" PLATE WASHER OR SIMPSONS BR/BS PER SCHEDULE.
 - WHERE NOTED IN DETAILS, USE SIMPSON AS IN LIEU OF LTP4 PLATES SPACE AT 2/3 OF LTP4 SPACING.
- SIMPSON HOLD-DOWN** **SIMPSON ANCHOR BOLTS** **SIMPSON EDGE ALL THREAD ANCHORS***
- | | | |
|-------|---|------------------------------|
| H2U2 | SSTB18 (5/8" ANCHOR WITH 12 5/8" MIN. EMBED.) | 5/8" (12" EMBED WITH SET-XP) |
| H2U4 | SSTB24 (5/8" ANCHOR WITH 18" MIN. EMBED.) | 5/8" (12" EMBED WITH SET-XP) |
| H2U5 | SB 5/8x24 (5/8" ANCHOR WITH 18" MIN. EMBED.) | 5/8" (11" EMBED WITH SET-XP) |
| H2U6 | SB 1/2x24 (1/2" ANCHOR WITH 18" MIN. EMBED.) | |
| H2U11 | SB 1x30 (1" ANCHOR WITH 24" MIN. EMBED.) | |
| H2U14 | SB 1x30 (1" ANCHOR WITH 24" MIN. EMBED.) | |
- * ALL ANCHORS SHALL BE 2.5" MIN. FROM EDGE OF CONCRETE WALL

A SHEARWALL SCHEDULE
 3/4" = 1'-0"



B TYP. WALL OPENING FRAMING
 3/4" = 1'-0"